

Real Estate Inspection Report

Date of Inspection

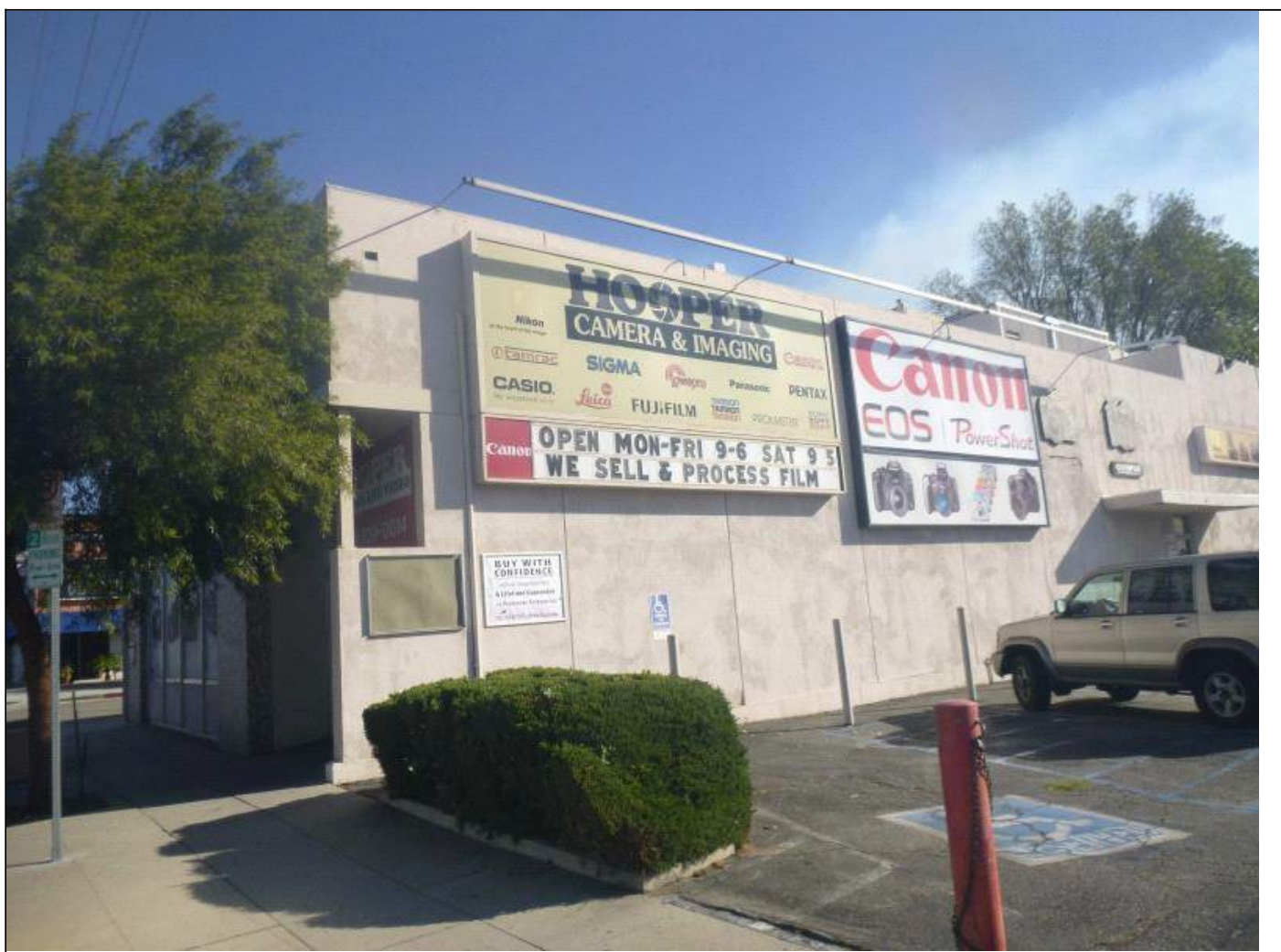
Hayes Inspection Group

SAMPLE REPORT

Chatsworth CA 91311

Inspector - Bud Hayes
Confidential and Proprietary

CLIENT INFORMATION



CLIENT NAME: Sample Report

CLIENT ADDRESS: Chatsworth CA 91311

INSPECTOR: Bud Hayes

INSPECTION CONDITIONS

CLIMATIC CONDITIONS:

WEATHER: Clear and windy (some smoke from fires nearby)

TEMPERATURE: 60's.

BUILDING CHARACTERISTICS:

BUILDING TYPE: Commercial Building.

STORIES: Two.

UTILITY SERVICES:

UTILITIES STATUS: The utilities were on.

OTHER INFORMATION:

BUILDING OCCUPIED: Yes.

CLIENT PRESENT: No, but the client had a representative at the inspection , Judy Brown.

COMMENTS: The client was unable to attend the inspection. It is important to understand that though the Inspection Agreement in the back of the report may not be signed by the client it is understood that use of this Report implies the acceptance of the agreement and all its terms by the client.

INTRODUCTORY COMMENTS:

This was a limited inspection focusing on the major components and structure and while the interiors were walked though not all of the plumbing fixtures and components were tested or closely examined.. There are plans for major remodeling and modifications

Note: an android device was used to input data and pictures and some of the voice to text sections may have been automatically transcribed improperly.

GENERAL COMMENTS: This is an older building and the certificate on the electrical panel indicates it was originally approved in 1957.

ADDITIONAL NOTES:

It appears that there have been alterations and upgrades to the property over the years. Modifications to the electrical, plumbing and mechanical systems as well as to the structure of the building require permits and progress inspections. It is advised to obtain any and all documentation that might possibly be available. This should be done prior to the expiration of the contingency period.

It is typical when a building is remodeled or repairs are undertaken that additional problems surface that were not noted on the inspection report. This is to be expected as walls, floors and ceilings are opened up during the work to reveal areas that were not accessible during the inspection. Any remodeling work undertaken on a property should be expected to reveal some of these problems and it is recommended that additional sums be set aside for this purpose.

DEFINITIONS AND STANDARDS

TERMS OF THE INSPECTION:

- SERVICEABLE:** It is the inspectors opinion that this item is doing the job for which it was intended and exhibits normal wear and tear.
- NEEDS ATTENTION:** It is the inspectors opinion that this item is in need of further investigation and/or repairs or appears to be at the end of its service life. The inspector has made the client aware of this situation by calling it "needs attention" in the report and it is then the clients responsibility to take appropriate action concerning the situation with the appropriate professional during the inspection contingency period and prior to the close of escrow.
- NOT ACCEPTABLE:** It is the inspectors opinion that this item is either a safety hazard or not functioning properly, The inspector has made the client aware of this situation by calling it "not acceptable" and it is then the clients responsibility to take appropriate action concerning the situation with the appropriate professional during the inspection contingency period and prior to the close of escrow.
- STANDARDS:**
- A. The report conforms to the Standards and Practices of the California Real Estate Inspection Association and the Business and Professions Code which defines a real estate inspection as a survey and basic operation of the systems and components of a building which can be reached, entered, or viewed without difficulty, moving obstructions, or requiring any action which may result in damage to the property or personal injury to the inspector. The purpose of the inspection is to provide the Client with information regarding the general condition of the building(s). Cosmetic and aesthetic conditions shall not be considered.
 - B. A real estate inspection report provides written documentation of material defects discovered in the inspected building's systems and components which, in the opinion of the Inspector, are safety hazards, are not functioning properly, or appear to be at the ends of their service life. The report may include the Inspector's recommendations for correction or further evaluation.
 - C. Inspections performed in accordance with these Standards of Practice are not technically exhaustive and shall apply to the primary building and its associated primary parking structure.

PLUMBING SYSTEM

While some plumbing observation may be code related, this inspection does not determine if the system complies with code. Supply and waste lines are inspected only where they are accessible and while operating accessible fixtures and drains. Performance of the water flow can vary during different times of the day and performance of the drain during actual usage is undetermined. Drain blockage is common in vacant property. It is advised to have any underground drain/sewer lines examined by a specialist with a camera to determine their actual condition. The following are not included; inaccessible supply or waste lines, leaks in inaccessible areas such as walls, underground or the crawl space, the interior of pipes for mineral or corrosive clogging, water hammering, solar equipment or water temperature, and the condition of shower pans or if a shower will leak when used. No water testing of any type is performed. The type of copper, whether it is M, L, or K, is not part of this inspection and will not be determined. The gas system is not tested for leaks and any underground or hidden gas lines are specifically excluded from this report. Determining the operation of sewer ejection systems is excluded from this inspection and it should be examined by a specialist. The angle stops under sinks and other plumbing valves, such as the main shut off valve, are not turned or tested. The finish fixtures as toilets, sinks and faucets etc are covered in the Kitchen and Bathroom section of this report.

MAIN WATER SUPPLY LINE:

MAIN WATER LINE
MATERIAL:

The main water line shut off was not located. It is advised to check with the current owner to determine where the shut off valve is located. As this line is underground from the street to the building and not visible, the material it is made of is not known.

MAIN WATER SHUT OFF
LOCATION:



There was no main valve seen at the building except at the water meter.

CONDITION:

Needs Attention: No main water shut off valve was located at the outside of the building. This is typically required as for repairs and emergency shut off, and this should be located or one may need to be installed by a plumbing contractor.



Note on the left side there is what appears to be an old water meter and a space for a water shut off for the building which are both empty and it is suspect this was abandoned when the building was repiped with newer copper.

WATER SUPPLY PRESSURE REGULATOR:

CONDITION:

No pressure regulator was observed at the main line where it enters the structure. Sometimes they are installed in other areas and it is advised to check with a professional to determine if there is one on the system or not.

Note: while the pressure is at an acceptable range at this time, the pressure is controlled by the supply from the municipality and tends to fluctuate during different times and different days. Since there is no pressure regulator there is no protection against higher pressure.

WATER PRESSURE:



80 psi, this is serviceable. This is the maximum recommended pressure.

COMMENTS:

Needs Attention: there is no pressure relief valve on the main line as is typically required in case of a surge of pressure occurs from the municipality. This is needed besides the pressure relief valve on the water heater(s)

INTERIOR WATER SUPPLY LINES:

WATER SUPPLY PIPING MATERIAL:

Copper was only seen in the building. The interior water piping that supplies the water throughout the building is made of copper piping where visible, though some of the older galvanized piping may still be in use in areas not visible.

CONDITION: Serviceable.

WASTE LINES:

WASTE LINE MATERIAL: The piping that takes the waste water to the sewer system is made of cast iron where visible.

CONDITION:



Needs Attention: There are rusty areas on the exterior of the older waste lines. It is not possible to tell when but they will need replacing in the future as they continue to wear out. The rusty scales on the inside tend to catch debris and clog easier than newer plastic drain lines.



Needs Attention: Older drain lines under slab, seem at floor drain in janitor closet.



Needs Attention: These are older vent pipes on the roof and one of them is disconnected I need servicing.

WASTE LINE COMMENTS: The waste lines are under the slab and in the walls of the building, they are not visible and were not inspected.

HOSE FAUCETS:

CONDITION:



There is a missing handle on the exterior hose faucet on the exterior hose faucet on the left side behind the utility door. This is capped off and is unknown if it operates.

GAS SYSTEM:

SEISMIC GAS SHUT OFF VALVE:



There is no automatic seismic gas shut-off valve on the main gas line. This may need to be installed before the close of escrow.

GAS METER LOCATION: The gas meter was located in a small underground vault near the street on the left side.

CONDITION: It is advised to have the gas provider inspect the gas system to determine its condition and check all the gas appliances and fixtures. This is usually a free service.

WATER HEATER:

LOCATION:



The water heater is located in the roof closet.

LOCATION CONDITION: Serviceable.

FUEL: Gas.

SIZE: 30 Gallons.

AGE: About 3 years old. Water heaters have an expected life of 8 - 12 years.

CONDITION: Serviceable.

There is no drip leg on the gas line (to catch moisture and debris) which is currently now required.

COMBUSTION AIR: Serviceable.

WATER HEATER STRAPPING AND SUPPORT: **Needs Attention**, the water heater has two straps around it but they are not holding the water heater securely, there are no blocks behind the water heater to help hold it securely, This also is strapped with improper strapping material so needs to be corrected.

TEMPERATURE/PRESSURE RELIEF VALVE: Serviceable.

VENTING: **Needs Attention, the water heater vent line goes into an older vent system. Most manufacturers require a new metal vent pipe be installed when the new system is installed. The old piping may allow condensation to run back into the water heater causing it to rust prematurely.**

COMMENTS: The adequacy or efficiency of the hot water heater cannot be determined in a limited time visual inspection. It is not known how hot the water will get or how long it will last and this is many times a matter of personal preference.

PLUMBING COMMENTS:

WASTE LINE COMMENTS: The sewer lines that go out to the sewer system are installed underground and are not visible. Their condition is unknown. The only way to determine what is going on with them is to have them checked out with a camera by a specialist to determine their true condition and any needed repairs.

NOTE: there is a distinction between 'waste lines' and 'sewer lines' - while both take the drain / waste water away from sinks and toilets and out of the building, the 'waste line' is under the building, sometimes visible and sometimes not, and the 'sewer lines' start 2 feet outside the building and extends to the city sewer.

A typical 'sewer line inspection' is only the portion outside the building to the city sewer, and not under the building. Some sewer line inspection specialists can also inspect the 'waste / drain' lines actually under the building, using a smaller video camera system. This is a separate specialty inspection.

IMPORTANT! a recent change in LA building code requires that any structure built before 1965 that is undergoing plumbing repair or building remodeling with permits is required to have a video inspection of the sewer line between the building and the public sewer main to check for the presence of concrete sewer pipe, and if found, this may need to be repaired or replaced.

RECOMMEND! Due to the age and condition of the waste line system and age of the building, it is strongly recommended that this sewer line system be inspected at this time.

GENERAL COMMENTS:

The majority of the water supply pipes, waste lines and gas lines are underground, in walls or installed in concealed parts of the structure and thus are not visible. Their condition cannot be determined and no representation is made as to their status.

COMMENTS:

The toilets in the building were not marked as low flow. They may or may not meet the requirements for being water saving. It is advised to call a specialist to determine if they qualify or not

New State wide water conservation requirements:

As of January 1, 2017, building standards/state law require that flow rates for fixtures in the home not exceed 1.6 gpf for toilets, 2.2 gpm for faucets and 2.5 gpm for shower heads. It is beyond the scope of the inspection to determine the flow rates of the plumbing fixtures in the home. Refer to seller. Note: future alterations or modifications in the building requiring a permit may result in all plumbing fixtures being mandated to be replaced/ brought up to current water conservation requirements.

This is typically checked by a retrofitter or a city official and verified or corrected or cited for needed repair or replacement and is typically negotiable as to whether the seller or buyer is responsible for these mandatory upgrades.

ELECTRICAL SYSTEM

Electrical features are operated with normal controls. The general wiring, switches, outlets and fixtures are randomly checked in accessible areas. Wiring in the main box is inspected by removing the cover if accessible. While some observations may be code related, this inspection does not determine if the system complies with code. The inspection does not determine electrical capacity, determine over current capacity for any item including appliances, compare circuit breaker capacity to installed appliance rating. Also excluded are interior or exterior low voltage wiring or fixtures, telephone, security, intercom, stereo, cable or satellite TV, remote controls or timers. The exterior lighting, landscape lighting or any lighting outside the footprint of the building is not inspected. Light bulbs are not removed or changed during an inspection. This inspection does not certify or warrant the system to be free of risk of fire, electrocution or personal injury or death.

MAIN ELECTRICAL SERVICE:

TYPE OF ELECTRICAL SERVICE: The electricity is supplied by an overhead line from the power pole, 120/240 Volts.

ELECTRICAL SERVICE TO THE BUILDING: Serviceable:

MAIN PANEL LOCATION:



This is in the upstairs office closet area.

MAIN PANEL AMPERAGE:



Service Amperage - 225 Amp stand up panel for the main panel

There is a second meter for 3 phase power which has a 100 amp circuit breaker

The circuit breaker for panel "A" is 150 amps and the breaker for panel "B" is 90 amps

These seem to be fed power from the 225 Amp panel breaker.

TYPE OF CIRCUIT PROTECTION DEVICE:

The main electrical panel is on circuit breakers.

MAIN PANEL CONDITION:

Needs Attention: this panel and circuit breaker system is an old system. It is nearing the end of its expected life span. As with all older systems it will be more prone to failure due to its age and design. Some of these older systems have a reputation for unreliability, failing to trip, jamming, or overheating. Some electricians may recommend the panel be replaced and upgraded for safety.

This does not appear that it will supply reliable power needs for future major equipment and components proposed. Electrical engineer should evaluate for future applications.

ELECTRICAL SUBPANELS:

SUBPANEL LOCATION:



This sub panel B is upstairs in the hallway.



This panel a is downstairs in the main room near the janitor closet.

OUTLETS:

CONDITION:

Needs Attention: there are three prong outlets in the building. However, this electrical system is a two wire non grounded system and though these test as being grounded with a plug tester, they are suspect of not being grounded properly. It is advised to have a qualified electrician further examine this and make any needed corrections.

EXTERIOR ELECTRICAL:

CONDITION: The exterior lighting outside the building such as in the yard, planters and on the grounds is not part of the inspection.

There are signs on the exterior right side and front which have lighting. These were not fully tested.

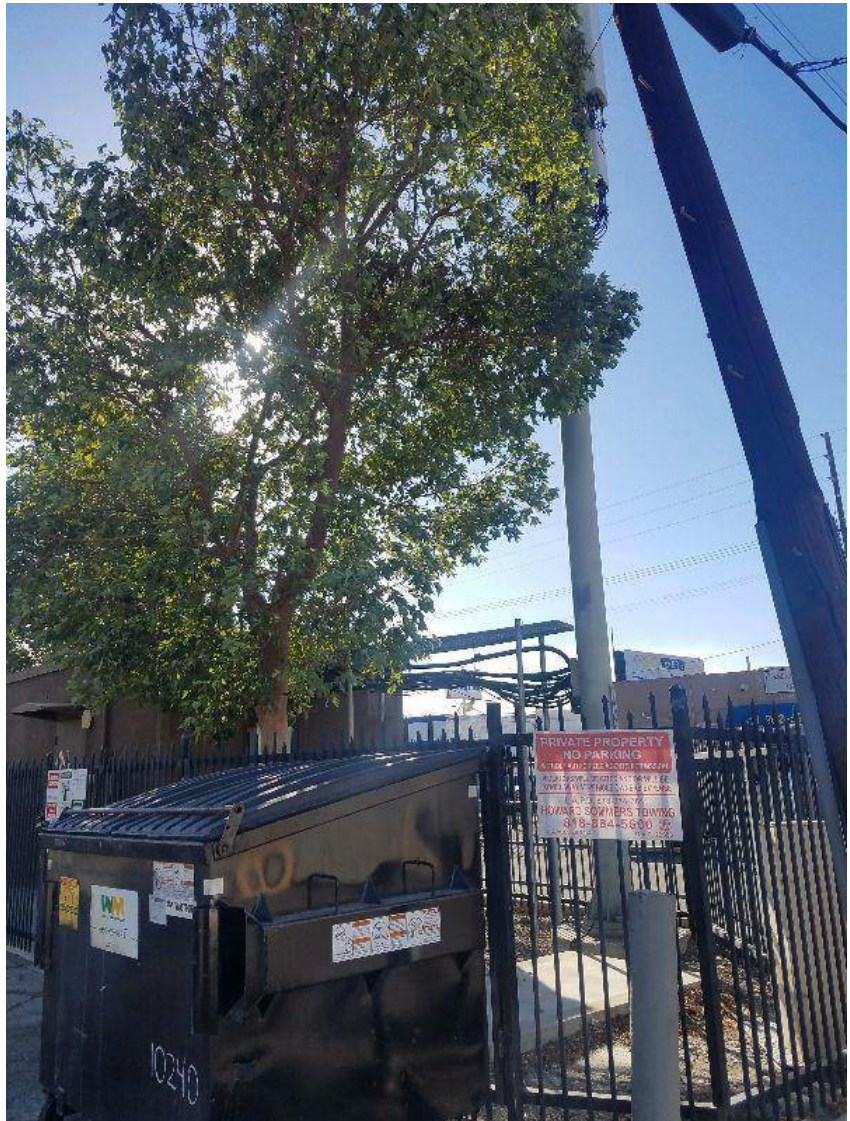
FIRE SUPPRESSION & SAFETY SYSTEMS

FIRE SAFETY SYSTEMS: This type of building is required to have certain fire safety items. These are items such as exit signs and fire extinguishers. It is advised to check with the local Fire Marshall to determine if this building meets current fire safety regulations.

ELECTRICAL COMMENTS:

ELECTRICAL WIRING COMMENTS: Low voltage lighting and wiring is excluded from a standard property inspection including outdoor lights, phone lines, security systems and speaker systems. Regular voltage exterior lighting is also excluded.

ELECTRICAL COMMENTS: The wiring is enclosed within the walls and ceilings and other parts of the structure. It is not visible and its condition cannot be fully determined. No representation is made as to its status.



There is a cell tower in the back parking lot on the West Side along with a small maintenance building which is reported as being part of this property under a long-term lease. Check with the owner for more information and documents.

Note the electrical system appears to be possibly undersized and extensive upgrades should be expected. An electrical contractor should be consulted along with the architectural designs for future equipment .

HEATING AND COOLING SYSTEM

While some observations may be code related, this inspection does not determine if the system complies with code. Weather permitting the systems are operated with normal controls. In order not to damage the system, the air conditioners are not activated if the outdoor temperature is below 65 degrees. Gas furnaces are not checked for carbon monoxide leakage or fire risks. There are carbon monoxide and fire detection devices which can be purchased and installed, which we recommend. Air ducts and registers are randomly checked for air flow. Heat exchangers are specifically excluded from the inspection. They are visually obstructed by the design of the system and a complete inspection requires special tools and disassembly, which is beyond the scope of the inspection. The following items are beyond the scope of the inspection; balance of the air flow, capacity or velocity of the air flow, humidifiers, air duct cleanliness, the ability of the system to heat or cool evenly, the presence of toxic or hazardous material or asbestos, system refrigerant levels, cooling or heating capacity to determine if its sufficient for the building, electronic air filters, solar equipment, programmable thermostats and determining the remaining life of the system. Window A/C's are not built in units and therefore not inspected.

HEATING AND COOLING SYSTEM:

There are three roof package units on the roof

HEATING SYSTEM:

LOCATION:





The heating units are located on the roof.

LOCATION CONDITION: Serviceable.

SYSTEM TYPE: The furnace is a gas-fired forced air system.

CONDITION: **Needs Attention**, The two front units are very Rusty and with water stains and the left unit has the gas line turned off to it and the right unit has the gas turned on to it but this was not tested.

Not Acceptable, These two front units are both very old and unreliable probably need replacement instead of any repairs.



Needs Attention, this is a very old unit also and not reliable and should be planned for a replacement.

THERMOSTAT:

These were not tested and operated. The interior offices were occupied and employees were working.

DUCTING AND AIR FLOW:



These roof ducts typically have fiberglass duct liner seen inside the duct past the filter. Though this is allowed by code, the microscopic fibers can be a respiratory irritant. This can be sealed with a water based varnish and encapsulated.

Needs Attention, There are ponding stains on top of the text indicating this does not drain off properly when raining.

COOLING SYSTEM:

CONDENSER CONDITION: **Needs Attention** these are old units and not reliable.

CONDENSATE LINE: Serviceable.

ELECTRICAL DISCONNECT: Serviceable.

COMMENTS: Note the tenant reported they have a service contract with a heating contractor and have the units serviced and cleaned and filters changed every 3 months and report that the AC has been working fine..

HEATING AND COOLING COMMENTS:

COMMENTS: Per the California Energy Commission, "Beginning October 1, 2005, Title 24 of the Building Energy Efficiency Standards requires that ducts be tested for leaks when a central air conditioner or furnace is installed or replaced. Ducts that leak 15% or more must be repaired"

A property inspection will not be able to determine if air loss (leaky ducts etc) exceeds the maximum allowed of 15%. This test can only be done by a qualified technician and is beyond the scope of this inspection. It is advised to consult with a qualified specialist on this matter as the examination may determine that repairs or replacement of the ducting system is required.

These are very old units and replacement should be expected in the near future.

ROOF SYSTEM

The report is not intended to be conclusive regarding the life span of the roofing system, if it is leak free or how long it will remain leak free in the future. The inspection and report are based on visible and apparent condition at the time of the inspection. The inspection does not address manufacturing defects, fastener appropriateness, if the roof was installed per code, if flashing is present in all locations or the numbers of layers present. Unless a rain has fallen just prior to the inspection, it is not possible to determine if active leakage is occurring. Not all attic areas are readily accessible for inspection. Tile roofs and steeply pitched roofs are not safe to walk on and access is limited on them. Conclusions made by the inspector do not constitute a warranty, guaranty, or policy of insurance. All roofs require periodic maintenance to achieve typical life spans and should be inspected annually. Expect to make minor repairs to any roof.

While it is possible some prior repairs and leaks may be reported, it is not the intention of the inspection to identify and report all prior repairs and conditions. It is recommended to refer to the seller and sellers disclosure about the presence of any roof leaks or prior repairs. Also it should be noted that all gutters deteriorate and have a limited life span before they need to be replaced.

ATTIC:

ACCESS TO ATTIC:



There is a door in the upper office area for access to the above front office areas above the ceiling. (This was viewed from the door way only and is a difficult climb through the attic)



There are two ceiling hatch doors in the upper office which when partially opened had a lot of dust.

AREA OF ATTIC: There is an attic space over the entire floor plan of the building.

TYPE OF ATTIC FRAMING: The attic has conventional framing in it.

ATTIC FRAMING
CONDITION: Serviceable, where visible.

ATTIC CONDITION: Serviceable where visible but very dirty on the upper attic.

ATTIC VENTILATION: Some vents were seen.

ATTIC INSULATION:

INSULATION CONDITION: **Needs Attention:** No insulation is provided in the attic. Insulation was not commonly installed at the time when this building was constructed. 8 - 12 inches of insulation is standardly recommended in the attic for energy savings.

ROOF:

ROOF STYLE: The roof is a flat roof with a low pitch.



The roofing material on the low sloped roof is rolled sheet composition roofing with a granular surface which has had a white coating put over the top of it.

ROOF ACCESS:

The roof was walked on to inspect it.

ROOF COVERING STATUS:



Needs Attention: On the low sloped / flat roof, There are some areas showing that the water ponds a little bit such as long the sides as it goes to the drain.(There are moisture stains in the lower hallway at this area indicating some past leak.)



Needs Attention: There are many wrinkled areas which have just been wait, headed over that's what I.

EXPOSED FLASHINGS:

CONDITION:



Is generally appear service of all but there are some water stains in damage glow the furnace location and where the ducts penetrate the concrete wall and platform. In the past probably should be designed to prevent future leaks even though it has caulking and Mastic now that is not reliable.

GUTTERS, DOWNSPOUTS & ROOF DRAINAGE:

GUTTER CONDITION:



There are roof drains installed in the low areas of the flat roof to direct water off of the roof.

There is moisture damage on the ceiling below the front left roof drain. In the piers of the roof has been repaired in Seal.

DOWNSPOUT CONDITION:



The roof drain empties at the back alley on the back side of the building and is showing some peeling paint and deterioration since the downspout does not extend out past the building face.



Needs Attention: there is a very small roof drain downspout on the right side near the front. This is partially buried in the asphalt and has debris clogged at the bottom.

ROOF COMMENTS:

COMMENTS:

Some servicing is seen to be needed at this time. It is advised to have a roofing contractor further examine this and make any needed corrections.

White coatings on roofs like this will need to be recoated every 8-10 years

The roof has been inspected at a time when it was not raining. Since one of the purposes of the roof is to repel water this could not be observed and verified as occurring in all cases. Therefore the roof has not been tested under wet conditions and how it performs in these conditions is unknown. No warranty is made that it will not leak when it is under a wet condition.

It is important for all roofs to have regular maintenance, including cleaning out the gutters and drainlines and ensuring all the penetrations are properly sealed.

FOUNDATION SYSTEM

Structural comments are of the conditions observed at the time of the inspection and are the opinion of the inspector and not fact. If further information or facts are needed, they can be obtained through a structural engineer or foundation expert. The inspection does not determine the potential of the structure to experience future problems, geological conditions or the potential of the underlying soils to experience movement or water flow or whether the soil is stable. If any form of prior structural movement is reported you should expect future movements and possible repairs.

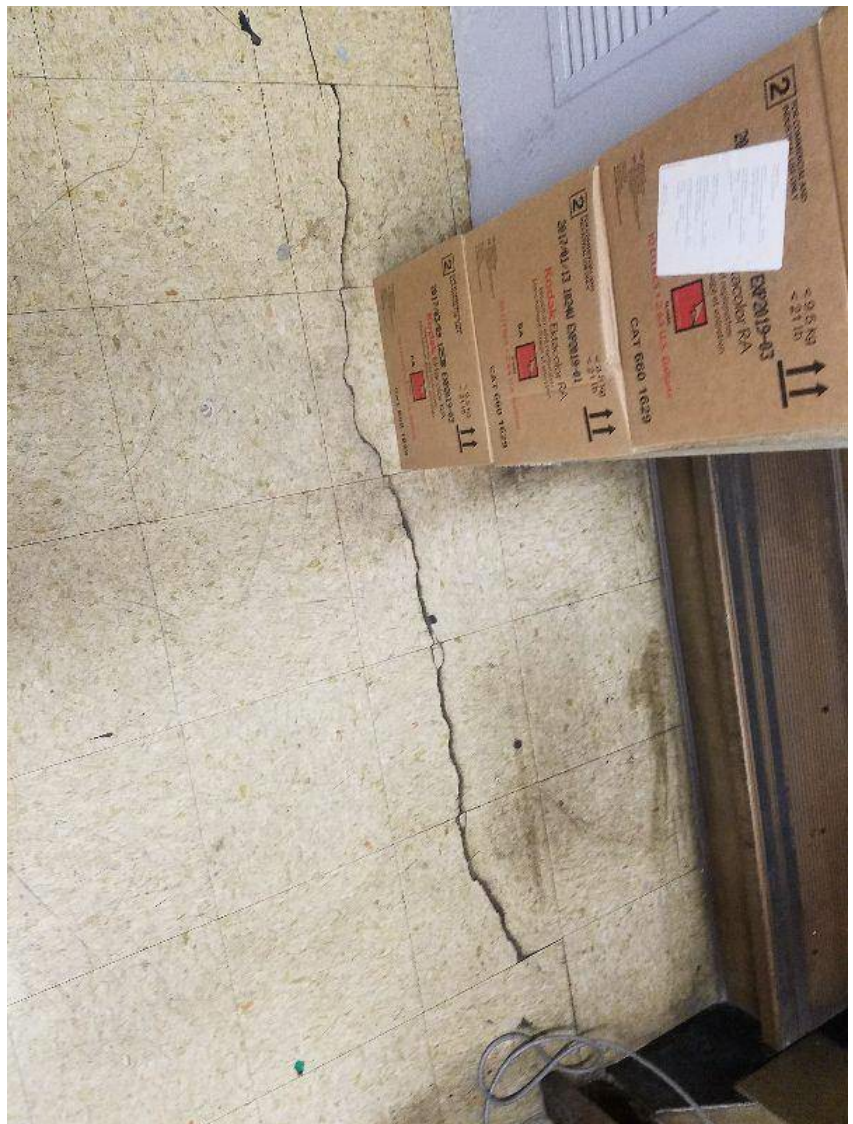
The inspection does not calculate crawl space ventilation capacities, deck and balcony capacity, retaining wall conditions, construction material type, quality or capacity. It does not address the existence of prior repairs, the potential of future repairs, failure analysis, documentation of all possible movement or cracks in floor slabs covered by floor furnishings. It is typical for concrete floor slabs to have some cracks as a result of the normal drying process of the concrete plus the stress occurring by settlement and seismic activity. Crawl spaces are observed in a cursory fashion and wood probing is not done and wood damage, dryrot and termites are not part of this inspection but part of the structural pest control operators report.

FOUNDATION:

SLAB ON GRADE:

This building is on a concrete slab over earth, with no crawl space underneath. There were no observable signs of significant settlement or deflection in the slab from observing the finish flooring. It appears to be performing its function of supporting the structure however the actual slab itself was not seen and it may appear different once the finish flooring is removed. Note, Concrete typically develops cracks, so it is expected some cracking would be found if the concrete were exposed to view. By the nature of slab construction the structure would be bolted to this concrete slab per the standards at the time of construction.

SLAB ON GRADE
COMMENTS:



There is a crack in the concrete floor at the bottom of the stairs showing through the linoleum tiles. This does not appear to be a significant.



There are many small hairline cracks along the foundation footing visible along the left sidewalk area. These do not appear significant..

EXTERIOR

The exterior is viewed in a cursory fashion. Areas of the exterior that are hidden from view by vegetation or stored items cannot be judged and are not a part of this inspection. Minor cracks are typical in many exterior wall coverings and most do not represent a structural problem. Peeling and cracking exterior paint on windows, doors and trim allow water to enter and cause damage and deterioration. It is important to keep these exterior surfaces properly painted and/or sealed. All exterior grades should allow for surface and roof water to flow away from the foundation and exterior walls.

Chimney Inspection: This inspection is limited to those areas visible and readily accessible to the general inspector. Due for the potential for hidden damage within a chimney, it is advised to have any fireplace and chimney system fully examined by a qualified chimney specialist using a video camera to determine and report on the structural integrity and fire safety aspects of these systems.

EXTERIOR COVERING OF THE BUILDING:

MATERIAL:





The exterior building covering appears to be a concrete panel building with some tile appliques on the front.

CONDITION: Serviceable.

EXTERIOR WINDOW SURFACES:

MATERIAL: The exterior window surfaces are metal.

CONDITION: Serviceable though older and only single pane glass.

COMMENTS:



There are panes of glass that are within 18 inches of the floor, or close to the walkway along the front sidewalk and In newer construction it is required that the glass be a tempered type of safety glass. Making this older glass into safety glass by tempering or putting a safety film on it may not be a requirement for this sale but it is recommended.

EXTERIOR DOOR SURFACES:

MATERIAL: The exterior door surfaces are various types of material.

CONDITION: Serviceable.

EXTERIOR DOOR THRESHOLDS:

CONDITION: Serviceable.

EXTERIOR TRIM:

MATERIAL: The exterior trim surfaces are metal.

CONDITION: Serviceable.

EXTERIOR COMMENTS:

COMMENTS: This inspection is not a structural pest control inspection, otherwise known as a termite inspection. The "termite" inspection also covers such things as dryrot and wood damage and deterioration as well as wood destroying organisms. Any and all of these items need to be examined and any repairs completed before the close of escrow by the

"termite" company and they usually have a guarantee on their work. Please refer to the structural pest control report for any information concerning them

GROUNDS

This inspection is not intended to address or include any geological conditions or site stability information. For information concerning these conditions, a geo-technical engineer should be consulted. Proper grading is important to keep water away from the foundation. If it is not raining during the inspection the course of water flowing toward the structure or off the site cannot be observed. The soil should slope away from the structure to prevent problems caused by excess water not flowing away properly. Gutter discharge should be directed away from the foundation for the same reason. Out buildings, such as storage sheds, on the property are excluded from the inspection. Fire pits, a B.B.Q. and other similar items are not inspected nor is the gas to them tested or lit.

This inspection is visual in nature and does not attempt to determine drainage performance of the site or the condition of any underground piping, including municipal water and sewer service piping or septic systems. Landscape lighting, sprinklers and their timers are not part of a general property inspection. The inspection report does not include the identification of the property boundaries.

DRIVEWAY:

CONDITION: Serviceable.

PARKING

CONDITION:



Needs Attention: There are deteriorated areas of asphalt due to typical wear and tear.



There is a parking lot across the alley in back of the building which is reported as part of this property. The asphalt in this back parking lot is also deteriorated and cracked in areas.

The parking spaces are marked and painted faintly. New sealant for all of the parking area should be expected and repainting the parking spaces.

WALKWAYS:

CONDITION:



Needs Attention: There are raised and shifted areas of the walkways that appear to be a trip hazard, There are tree root systems causing shifting and cracking of the walkways, This is seen along the east the large trees at the back parking area.

LANDSCAPING:

CONDITION:

The grounds on the property have generally been maintained.

DRAINAGE:

SITE:

Flat site.

DRAINAGE CONDITION:

There were no observable defects in the grading and drainage within six feet of the building.

COMMENTS:

Determining the adequacy of the grounds to shed water and prevent moisture intrusion into the structure is beyond the scope of the inspection. It is advised to obtain the history of any drainage problems and monitor the site regarding water run-off and drainage in general.

This inspection does not address drainage issues further than 6 feet from the building. Additionally drainage systems that are not visible such as underground systems are not evaluated or inspected. If more information is required it is advised to consult with a drainage specialist.

INTERIORS

As a general rule, cosmetic deficiencies are considered normal wear and tear and are not reported. The condition of walls behind wall coverings, paneling and furnishings cannot be judged. Minor cracks are found on interior surfaces in all buildings and are typically cosmetic in nature. The condition of floors underneath carpet, furniture and other coverings cannot be determined and is specifically excluded from the inspection and report. Only the general condition of visible portions of floors is included in this inspection. Window and door security bars are not tested or operated. Determining the condition of insulated glass is not always possible due to weather, temperature and lighting conditions. All fireplaces should be cleaned and inspected on a regular basis to make sure that it is a safe and structurally sound system. It is beyond the scope of this inspection to determine and cracking or damage to the chimney or its flue. This can only be determined by a chimney expert.

OVERVIEW OF UNIT COMPONENTS:

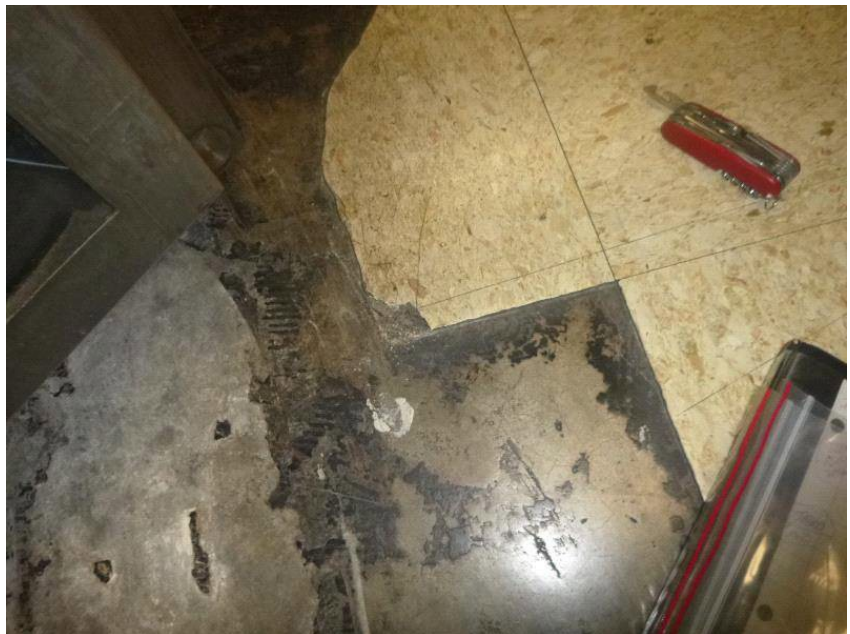
MAIN ENTRY DOOR
CONDITION: Serviceable, with typical wear.

EXTERIOR DOORS
CONDITION: Serviceable, with typical wear.

INTERIOR DOORS
CONDITION: Serviceable, with typical wear.

WINDOW CONDITION: A representative sampling was taken of the windows. Windows as a grouping are generally operational.

FLOORING CONDITION:



Needs Attention there are older 9" square tiles such as in the back lower storage rooms . These tiles are known to commonly have asbestos material and would have to be analyzed by a lab to determine if asbestos is present.

The flooring is generally worn and damaged in many areas on the main floor.

RAILING CONDITION: Serviceable.

STAIR CONDITION: Serviceable.

There is a front retail display area some offices and a warehouse on the main floor. The back upper office area has a large workroom area and executive office a storage room and two bathrooms.

INTERIORS:



Needs Attention:

CEILING: There are areas of moisture stains on the ceiling on the right side middle Warehouse area (below front roof package heaters near the joints of the ducts entering the upper roof utility room: see roof section).



CEILING: There are areas of moisture stains on the ceiling above the stairs.(below the old roof utility room)



Needs Attention:
CEILING: There are areas of moisture stains on the ceiling near the front left corner where the roof drain comes down through the building.



Needs Attention:

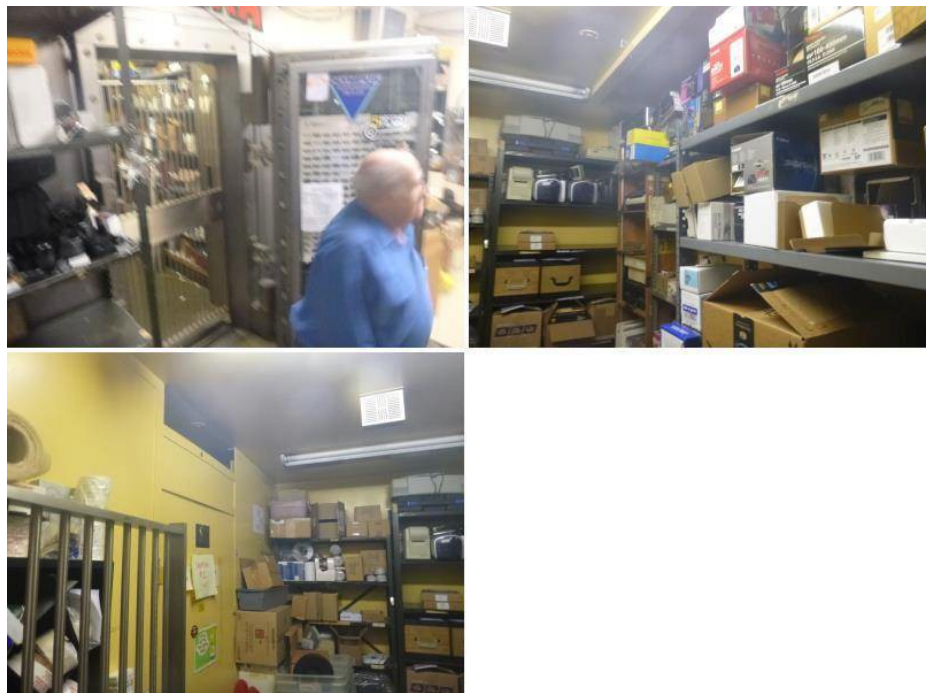
CEILING: There are areas of **moisture stains** on the plywood ceiling along the hall on the left side (this is below the area where water ponds on the roof along the left side)

MEZZANINE



There is a storage section above the front offices accessed from stairs in the back warehouse. The head clearance is lower than normal and this area has many stored items and clutter.

WALKIN SAFE



In the back on the main floor there is a large walk in vault. The tenant mentioned he has the combination and this operates. Check with the owner for more details and the history of this and any documents.

BATH 1:



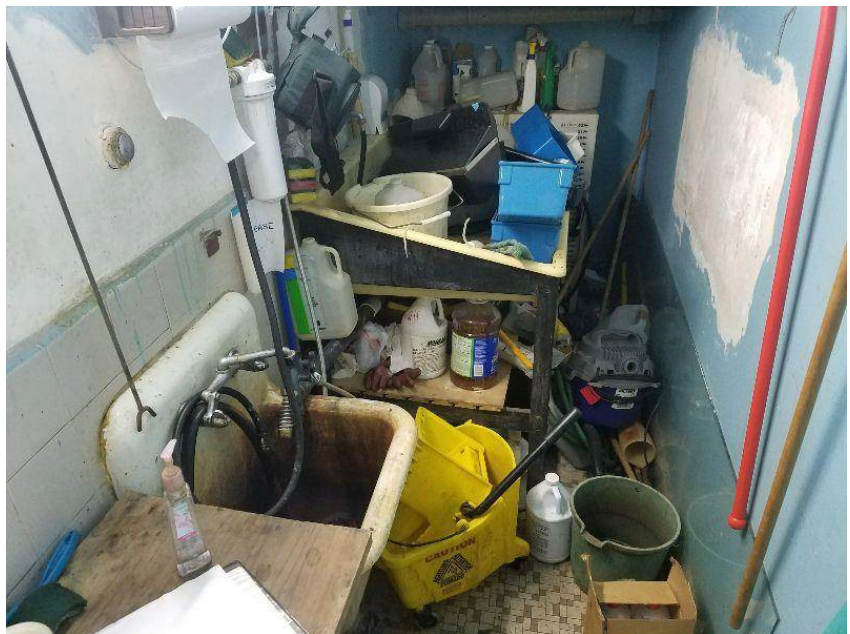
Women's bathroom which is upstairs. There are two toilet stalls and the sink.

BATH 2:



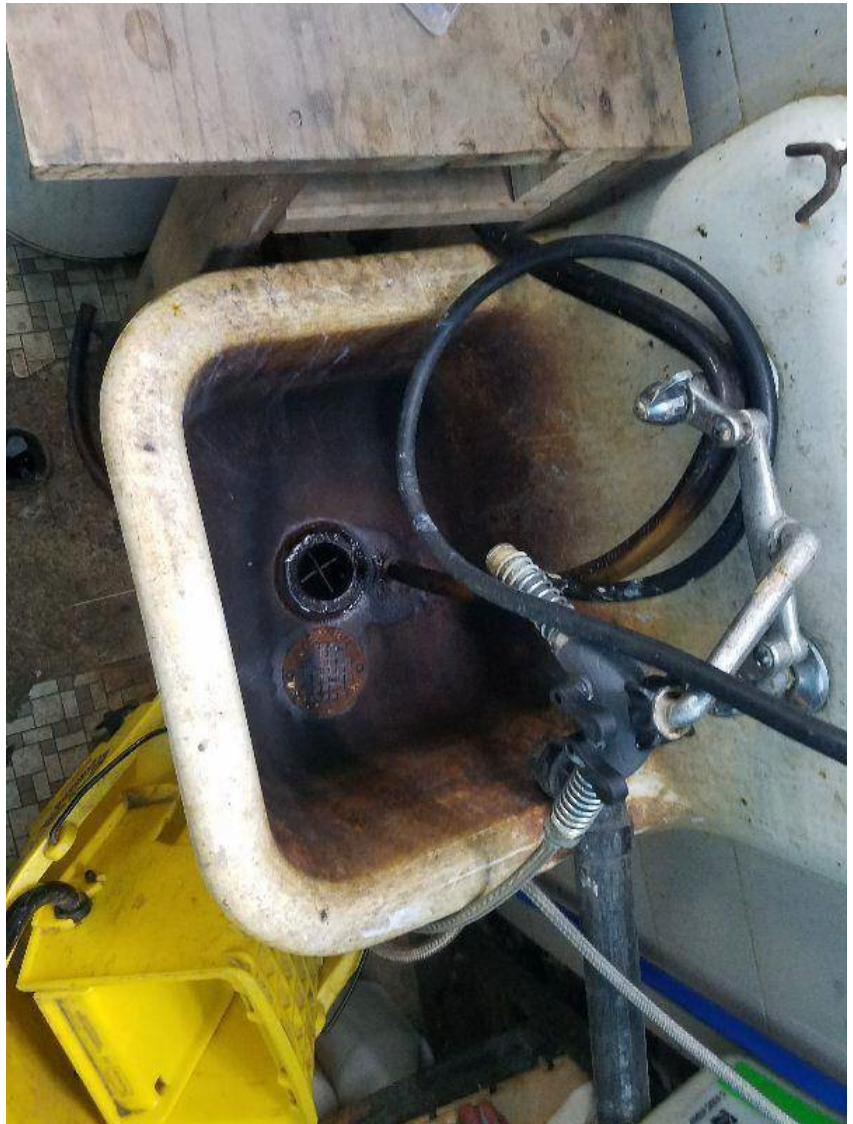
The men's bathroom upstairs is also a 2 stall toilet and the sink and there is access to the attic or above ceiling area from this room.

JANITOR CLOSET :





An old free-standing sink for possibly processing film which does not appear to be in use currently.



Needs Attention:
SINK: The sink is chipped / rusted/ very stained.

UPSTAIRS JANITOR
CLOSET :



This is a storage room with a janitor type sink and a short ladder and access to the roof is through this.

INTERIOR PICTURES

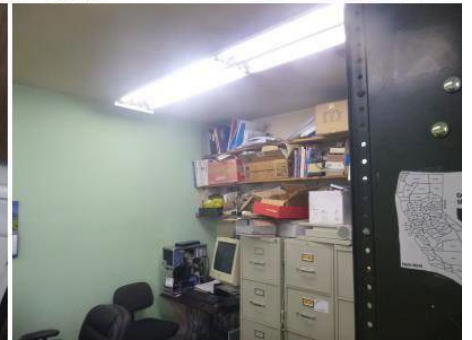








Note light duty 2x4 supports are used for the mezzanine floor supports.







INTERIOR COMMENTS:

COMMENTS:

This is a general visual inspection, there was no destructive or intrusion testing performed. The intention of this report is to inform the client of the overall condition of the property and the material defects therein, not to itemize or list all the individual flaws.

There are areas of acoustic ceiling tiles , and older linoleum tiles in the building, these may contain asbestos but would have to be tested in a laboratory to determine if this was the case.

GENERAL COMMENTS:

The interior of the building has personal items and furniture blocking the view and therefore access to parts of the property.

This is not a mold or fungus inspection, it is advised to have a mold specialist examine the property and structure and do a complete inspection to determine the presence or not of any mold that may affect the health or safety of the occupants.

During this inspection there may be items discovered that require further inspection and/or subsequent repairs. Where further inspection by a specialty trade is advised, this is meant to be done during the inspection period, prior to the contingency expiring and certainly prior to the close of escrow. The whole intent of this procedure being to fully discover the extent of the repairs needed and the associated costs.

INSPECTION LIMITATIONS

SPECIFIC EXCLUSIONS AND LIMITATIONS:

OUR GOAL:	Our Goal is to enlighten you as to the condition of the property by identifying material defects that would significantly affect the property and therefore your decisions concerning it. We strive to add significantly to your knowledge of the building. Thus the goal is not to identify every defect concerning the property but focus upon the material defects and thereby put you in a much better position to make an informed decision.
GENERALIST VS. SPECIALIST	A property inspector is a generalist and the inspection is conducted along generalist guidelines as listed above. The generalist job is to note material defects in the property he is inspecting. When he observes and finds one or more problems in a system of the property that affects its performance he may then refer the entire system over to a specialist in that field for a further detailed investigation. The specialist is expected to conduct a more detailed examination on that system from his specialist sphere of knowledge and training to determine all the problems with the system and the related costs of repairs. The specialist is inspecting from a depth of knowledge and experience that the generalist does not have.
REPRESENTATIVE SAMPLING:	The building has many identical components such as windows, electrical outlets, etc. We inspect a representative sampling of these only. We do not move any furniture or personal belongings. This means that some deficiencies which were there may go unnoted or there may be items which are impossible to anticipate. We suggest that you plan for unforeseen repairs. This is part of property ownership as all buildings will have some of these repairs as well as normally occurring maintenance.
USE OF THE REPORT:	The inspection report does not constitute a warranty, insurance policy or guarantee of any kind. It is confidential and is given solely for the use and benefit of the client and is not intended to be used for the benefit of or be relied upon by any other buyer or other third party.
PRE-INSPECTION AGREEMENT:	Terms and conditions crucial to interpretation of the report are contained in a separate pre-inspection agreement. Do not use this report without consulting the pre-inspection agreement as use of this report constitutes the acceptance of all the terms, conditions and limitations in that agreement.
MOLD, MILDEW AND FUNGI:	Mold, mildew and fungus are specifically excluded from the inspection and the report. The inspector is not qualified to note the presence or absence of mold. In some cases mold has been found to be a serious problem and should not be overlooked. Because we do not inspect for mold, should you have any concerns at all about mold or the future discovery of mold, we always recommend that a buyer has a building

inspected for mold during the contingency period and prior to the close of escrow.

WOOD DESTROYING ORGANISMS:

Termites, dry-rot, wood rot and wood destroying organisms are covered by the structural pest control operator's report. These are not part of the inspection and the inspector will not be inspecting for them. The Business and Professions Code prohibits anyone but licensed structural pest control operators from commenting on this subject.

BUILDING CODES:

This is not a building code or code compliance inspection. That is a different type of inspection performed by the local municipality, usually during construction. It is advised to obtain all available documentation such as building permits and certificates of occupancy during the inspection contingency period.

HAZARDOUS SUBSTANCES:

Identifying hazardous substances is not part of this inspection. Items such as formaldehyde, lead based paint, asbestos, toxic or flammable chemicals and environmental hazards are not tested for and not within the scope of the inspection.

INSPECTION LIMITATIONS: This is a limited time visual inspection. It excludes any items we cannot directly observe such as chimney interiors, furnace heat exchangers, underground piping, etc. These are specialty inspections and those inspections can be arranged using specialized equipment.

Additionally we do not inspect to see if components are installed properly. We do not have the specialized training, instruction sheets or manuals to determine if they meet manufacturer or building code requirements for installation, which can be quite varied. This is part of the specialist's inspection and any questions concerning installation would best be answered by the specialist.

CALIFORNIA REAL ESTATE INSPECTION ASSN.

CALIFORNIA REAL ESTATE INSPECTION ASSOCIATION (CREIA) RESIDENTIAL STANDARDS OF PRACTICE - FOUR OR FEWER UNITS

Part I. Definitions and Scope

These Standards of Practice provide guidelines for a *real estate inspection* and define certain terms relating to these *inspections*. **Italicized** words in these Standards are defined in Part IV, Glossary of Terms.

A. A *real estate inspection* is a survey and basic *operation* of the *systems* and *components* of a *building* which can be reached, entered, or viewed without difficulty, moving obstructions, or requiring any action which may result in damage to the property or personal injury to the *Inspector*. The purpose of the inspection is to provide the Client with information regarding the general *condition* of the *building(s)*. Cosmetic and aesthetic *conditions* shall not be considered.

B. A *real estate inspection* report provides written documentation of material defects discovered in the *inspected building's systems* and *components* which, in the opinion of the *Inspector*, are *safety hazards*, are not *functioning* properly, or appear to be at the ends of their service lives. The report may include the *Inspector's* recommendations for correction or further evaluation.

C. *Inspections* performed in accordance with these Standards of Practice are not *technically exhaustive* and shall apply to the *primary building* and its associated *primary parking structure*.

Part II. Standards of Practice

A *real estate inspection* includes the *readily accessible systems* and *components* or a *representative number* of multiple similar *components* listed in SECTIONS 1 through 9 subject to the limitations, exceptions, and exclusions in Part III.

SECTION 1 - Foundation, Basement, and Under-floor Areas

A. Items to be *inspected*:

1. Foundation *system*
2. Floor framing *system*
3. Under-floor ventilation
4. Foundation anchoring and cripple wall bracing
5. Wood separation from soil
6. Insulation

B. The *Inspector* is not required to:

1. *Determine* size, spacing, location or adequacy of foundation bolting/bracing components or reinforcing systems.
2. *Determine* the composition or energy rating of insulation materials

SECTION 2 - Exterior

A. Items to be *inspected*:

1. Surface grade directly adjacent to the *buildings*
2. Doors and windows
3. Attached decks, porches, patios, balconies, stairways, and their enclosures
4. Wall cladding and trim
5. Portions of walkways and driveways that are adjacent to the *buildings*

B. The *Inspector* is not required to:

1. *Inspect* door or window screens, shutters, awnings, or security bars
2. *Inspect* fences or gates or *operate* automated door or gate openers or their *safety devices*
3. Use a ladder to *inspect systems* or *components*

SECTION 3 - Roof Covering

A. Items to be *inspected*:

1. Covering
2. Drainage
3. Flashings
4. Penetrations
5. Skylights

B. The *Inspector* is not required to:

1. Walk on the roof surface if in the opinion of the *Inspector* there is risk of damage or a *hazard* to the *Inspector*
2. Warrant or certify that roof *systems*, coverings or *components* are free from leakage

SECTION 4 - Attic Areas and Roof Framing

A. Items to be inspected:

1. Framing
2. Ventilation
3. Insulation

B. The Inspector is not required to:

1. Inspect mechanical attic ventilation systems or components
2. Determine the composition or energy rating of insulation materials

SECTION 5 - Plumbing

A. Items to be inspected:

1. Water supply piping
2. Drain, waste, and vent piping
3. Faucets and fixtures
4. Fuel gas piping
5. Water heaters
6. Functional flow and functional drainage

B. The Inspector is not required to:

1. Fill any fixture with water or inspect overflow drains or drain stops, or evaluate backflow devices, waste ejectors, sump pumps or drain line clean outs
2. Inspect or evaluate water temperature balancing devices, temperature fluctuation, time to obtain hot water, water circulation, or solar heating systems or components
3. Inspect whirlpool baths, steam showers, or sauna systems or components
4. Inspect fuel tanks or determine if the fuel gas system is free of leaks
5. Inspect wells or water treatment systems

SECTION 6 - Electrical

A. Items to be inspected:

1. Service equipment
2. Electrical panels
3. Circuit wiring
4. Switches, receptacles, outlets, and lighting fixtures

B. The Inspector is not required to:

1. Operate circuit breakers or circuit interrupters
2. Remove coverplates
3. Inspect de-icing systems or components
4. Inspect private or emergency electrical supply systems or components

SECTION 7 - Heating and Cooling

A. Items to be inspected:

1. Heating equipment
2. Central cooling equipment
3. Energy source and connections
4. Combustion air and exhaust vent systems
5. Condensate drainage
6. Conditioned air distribution systems

B. The Inspector is not required to:

1. Inspect the heat exchangers or electric heating elements
2. Inspect non-central air conditioning units or evaporative coolers
3. Inspect radiant, solar, hydronic, or geothermal systems or components
4. Determine volume, uniformity, temperature, airflow, balance or leakage of any air distribution system
5. Inspect electronic air filtering or humidity control systems or components.

SECTION 8 - Fireplaces and Chimneys

A. Items to be inspected:

1. Chimney exterior
2. Spark arrestor
3. Firebox
4. Damper
5. Hearth extension

B. The Inspector is not required to:

1. Inspect chimney interiors
2. Inspect fireplace inserts, seals or gaskets
3. Operate any fireplace or determine if a fireplace can be safely used

SECTION 9 - Building Interior

A. Items to be *Inspected*:

1. Walls, ceilings and floors
2. Doors and windows
3. Stairways, handrails, and guardrails
4. Permanently installed cabinets
5. Permanently installed cook-tops, mechanical range vents, ovens, dishwashers, and food waste disposers
6. Absence of smoke alarms
7. Vehicle doors and openers

B. The *Inspector* is not required to:

1. *Inspect* window, door or floor coverings
2. *Determine* whether a *building* is secure from unauthorized entry
3. *Operate* or test smoke alarms or vehicle door safety devices
4. Use a ladder to *inspect systems or components*

Part III. Limitations, Exceptions, and Exclusions

A. The following are excluded from a *real estate inspection*:

1. *Systems* or *components* of a *building*, or portions thereof, which are not *readily accessible*, not *permanently installed*, or not *inspected* due to circumstances beyond the control of the *Inspector* or which the Client has agreed or specified are not to be *inspected*.
2. Site improvements or amenities, including, but not limited to: accessory *buildings*, fences, planters, landscaping, irrigation, swimming pools, spas, ponds, waterfalls, fountains or their *components* or accessories
3. Auxiliary features of *appliances* beyond the *appliance's* basic *function*
4. *Systems* or *components*, or portions thereof, which are under ground, under water, or where the *Inspector* must come into contact with water
5. Common areas as defined in California Civil Code section 1351, et seq., and any dwelling unit *systems* or *components* located in common areas
6. *Determining* compliance with manufacturers' installation guidelines or specifications, building codes, accessibility standards, conservation or energy standards, regulations, ordinances, covenants, or other restrictions
7. *Determining* adequacy, efficiency, suitability, quality, age, or remaining life of any *building*, *system*, or *component*, or marketability or advisability of purchase
8. Structural, architectural, geological, environmental, hydrological, land surveying, or soils-related examinations
9. Acoustical or other nuisance characteristics of any *system* or *component* of a *building*, complex, adjoining property, or neighborhood
10. *Conditions* related to animals, insects or other organisms, including fungus and mold, and any hazardous, illegal or controlled substance, or the damage or health risks arising there from
11. Risks associated with events or *conditions* of nature including, but not limited to: geological, seismic, wildfire, and flood
12. Water testing any *building*, *system* or *component* or *determine* leakage in shower pans, pools, spas, or any body of water
13. *Determining* the integrity of hermetic seals at multi-pane glazing
14. Differentiating between original construction or subsequent additions or modifications
15. Reviewing information from any third-party, including but not limited to: product defects, recalls, or similar notices
16. Specifying repairs/replacement procedures or estimating cost to correct
17. Communication, computer, security, or low-voltage *systems* and remote, timer, sensor, or similarly controlled *systems* or *components*
18. Fire extinguishing and suppression *systems* and *components* or *determining* fire resistive qualities of materials or assemblies
19. Elevators, lifts and dumbwaiters
20. Lighting pilot lights or activating or *operating* any *system*, *component*, or *appliance* that is *shut down*, *unsafe* to *operate*, or does not respond to *normal user controls*
21. *Operating* shutoff valves or *shutting down* any *system* or *component*
22. Dismantling any *system*, *structure*, or *component* or removing access panels other than those provided for homeowner maintenance

B. The *Inspector* may, at his or her discretion:

1. *Inspect* any *building*, *system*, *component*, *appliance*, or improvement not included or otherwise excluded by

these Standards of Practice. Any such *inspection* shall comply with all other provisions of these Standards.
2. Include photographs in the written report or take photographs for *Inspector's* reference without inclusion in the written report. Photographs may not be used in lieu of written documentation.

Part IV. Glossary of Terms

NOTE: All definitions apply to derivatives of these terms when *italicized* in the text.

Appliance: An item such as an oven, dishwasher, heater, etc, which performs a specific *function*

Building: The subject of the *inspection* and its *primary parking structure*

Component: A part of a *system, appliance, fixture, or device*

Condition: Conspicuous state of being

Determine: Arrive at an opinion or conclusion pursuant to a *real estate inspection*

Device: A *component* designed to perform a particular task or *function*

Fixture: A plumbing or electrical *component* with a fixed position and *function*

Function: The normal and characteristic purpose or action of a *system, component, or device*

Functional Drainage: the ability to empty a plumbing *fixture* in a reasonable time

Functional Flow: The flow of the water supply at the highest and farthest *fixture* from the *building* supply shutoff valve when another *fixture* is used simultaneously

Inspect: Refer to Part I "Definition and Scope", Paragraph A

Inspector: One who performs a *real estate inspection*

Normal User Control: Switch or other *device* that activates a *system or component* and is provided for use by an occupant of a *building*.

Operate: Cause a *system, appliance, fixture, or device* to *function* using *normal user controls*

Permanently installed: Fixed in place, e.g. screwed, bolted, nailed, or glued

Primary Building: A *building* that an *Inspector* has agreed to *inspect*

Primary Parking structure: A *building* for the purpose of vehicle storage associated with the *primary building*

Readily Accessible: Can be reached, entered, or viewed without difficulty, moving obstructions, or requiring any action which may harm persons or property

Real Estate Inspection: Refer to Part I, "Definitions and Scope", Paragraph A

Representative Number: Example, an average of one *component* per area for multiple similar *components* such as windows, doors, and electrical outlets

Safety Hazard: A *condition* that could result in significant physical injury

Shut Down: Disconnected or turned off in a way so as not to respond to *normal user controls*

System: An assemblage of various *components* designed to *function* as a whole

Technically Exhaustive: Examination beyond the scope of a *real estate inspection*, which may require disassembly, specialized knowledge, special equipment, measuring, calculating, quantifying, testing, exploratory probing, research, or analysis.

THIS FORM HAS BEEN APPROVED BY THE CALIFORNIA REAL ESTATE INSPECTION ASSOCIATION (CREIA(SM)). NO REPRESENTATION IS MADE AS TO THE LEGAL VALIDITY OR ADEQUACY OF ANY PROVISION IN ANY SPECIFIC TRANSACTION. IF YOU DESIRE LEGAL ADVICE, CONSULT AN APPROPRIATE PROFESSIONAL. USE OF THIS FORM DOES NOT GUARANTEE THAT THE USER IS A QUALIFIED INSPECTOR MEMBER OF CREIA(SM). TO LOCATE A QUALIFIED CREIASM INSPECTOR CALL 800/388-8443 OR VISIT WWW.CREIA.ORG

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This agreement constitutes the entire agreement between the parties and can only be modified by a written document signed by all the parties to this contract and inspection. **No legal action of any kind shall be commenced against the Inspector/Inspection Company, et al. for any dispute more than one year after the date of the inspection whether in arbitration or Court. A dispute shall be defined as any form of disagreement, mediation, arbitration, or any type of civil lawsuit. THIS TIME IS SHORTER THAN OTHERWISE PROVIDED BY LAW AND CLIENT AGREES AS A MATERIAL TERM AND CONDITION TO THIS AGREEMENT TO BE BOUND BY THAT CONDITION.** Client is aware that the price of this home inspection is conditioned on this material provision.

Client Initials _____

Please choose one of the types of inspections listed below:

Generalist Inspection: The Client requests a general-limited-visual inspection performed in a manner consistent with the Standards of Practice of the California Real Estate Inspection Association. The client acknowledges that the inspector is acting as a generalist and that further investigation by the appropriate specialist of a reported condition may be necessary. Any further investigation by an appropriate profession shall be the duty of the client and not the inspector. The client is advised to consider this issue carefully and obtain further evaluation of reported conditions before removing any inspection contingency.

Client Initials _____

--Or--

Specialist Inspection: The Client requests a **Specialist Inspection** of the property. A **Specialist Inspection** requires a comprehensive inspection of the building and environmental codes where the building is located performed by a licensed contractor. The **Specialist Inspection** will include a comprehensive report as to all Code compliant issues re: Foundation, Plumbing, Electrical, Heating/Cooling, Roofing, Fireplace, Sewerline, Pool, Geologist, thermography testing, permit review, environmental, product recall, gas detection, review of City records for gas-methane districts, water intrusion, rodent infestation, modifications to the property without permits, energy audits and Engineering issues. The fee for this multiple day(s) inspection is to be determined by the size, age and condition of the property, starts at \$5,000 for the inspection company with additional costs for related experts as an additional fee authorized and approved in writing by the client. **Client Initials** _____

Liquidated Damages Clause: The parties in understanding litigation costs do hereby agree to a liquidated damages clause of two times the cost of the inspection.

Client Initials _____

Mediation Agreement: The contracting parties agree to mediate all disputes through ADR in Century City, CA. before a law suit is filed. Notice of mediation must be sent return receipt requested with 30 days to respond. If suit is in violation with the above the non-complying party forfeits all rights to prevailing party attorney fees, expert fees and costs. Each side shall share the mediation fees equally but same will be a cost to the prevailing party. The mediator must have experience in mediating property inspection cases and is familiar with the Standards of Practice of the California Real Estate Inspection Association (CREIA).

Binding Arbitration Agreement: The contracting parties agree to binding arbitration through ADR in Century City, CA and voluntarily waive any rights to trial by jury and the right to appeal. Punitive damages are expressly waived for both the complaint & cross complaint. All notices of binding arbitration must be served in the same manner as for the mediation as set forth above. Failure to comply with the above terminates all rights of that party to prevailing party legal and expert fees and costs of all types. The arbitrator must have experience in arbitrating home inspection cases and is familiar with the Standards of Practice of the California Real Estate Inspection Association. Each party has the right to the same discovery as if this action were filed in the Superior Court. Neither party has a right to Small Claims unless it is for non-payment of fees.

Attorney Fee Provision: In any action in law or equity the prevailing party is entitled to reasonable attorney fees, expert fees and costs of the arbitrator hearing this matter in binding arbitration.

The Client acknowledges that they have read, understood and agreed voluntarily to all the terms, conditions and limitations of this contract and agrees to pay the fee listed above.

Client Signature _____ Date _____

Client Printed Name _____ Inspector _____